



Village of Hobart – www.hobartwi.gov
Village Office - 2990 South Pine Tree Road, Hobart, WI

Notice is hereby given according to State Statutes that the SITE REVIEW COMMITTEE of the Village of Hobart will meet on **Wednesday June 17th 2026**, at 5:30 P.M. at the Village Office (2990 South Pine Tree Road). NOTICE OF POSTING: Posted June 12th 2026, at the Hobart Village Office and on the village website.

MEETING NOTICE – SITE REVIEW COMMITTEE

Date/Time: Wednesday June 17th 2026 (5:30 PM)

Location: Village Office, 2990 South Pine Tree Road

ROUTINE ITEMS TO BE ACTED UPON:

1. Call to order/Roll Call.
2. Certification of the open meeting law agenda requirements and approval of the agenda.
3. Approve Minutes of April 1st 2026 (Page 2) and May 28th 2026 (Page 4)
4. Public Comment on Non-Agenda Items

ACTION ITEMS

5. DISCUSSION AND ACTION – Site plan modification to the previously conditionally approved development and signage (5076 Founders Terrace, HB-523-2) (Page 6)

The property owner of parcel HB-523-2, located at 5076 Founders Terrace, is proposing some modifications to the previously conditionally approved site plans along with the signage package for their new development. This request is for the proposed modifications that affect the overall site.

6. DISCUSSION AND ACTION - Discussion and action on request to modify / amend Section 295-365 Administration of Article XXXIII Site Review/Development and Design Standards of Chapter 295 of the zoning code pertaining to Site Plans and Site Review Committee (Page 20)

Village Staff is proposing modifications to Section 295-356 of the Village Zoning Code pertaining to the Administration of the Site Review/Development and Design Standards and the Village Site Review Committee. This request is for discussion and possible action with a recommendation to both the Planning & Zoning Commission and the Village Board. Since this is an amendment to Chapter 295, Village Zoning Code, any amendment / modification would require a public hearing and review by both the Planning & Zoning Commission and the Village Board.

7. ADJOURN

Aaron Kramer – Village Administrator

Members: Dave Dillenburg (Chairperson), Tom Tengowski (Vice-Chairperson), Tammy Zittlow, Dave Baranczyk, Rick Nuetzel, Peter Zobro, Steve Riley

NOTE: A quorum of the Village Board may be present at this meeting, but no official Board action or discussion will take place. Page numbers refer to the meeting packet. All agenda and minutes of Village meetings are online: www.hobart-wi.org. Any person wishing to attend, who, because of disability requires special accommodations, should contact the Village Clerk-Treasurer at 920-869-1011 with as much advanced notice as possible. Notice is hereby given that action by the Committee may be considered and taken on any of the items described or listed in this agenda. There may be Committee members attending this meeting by telephone if necessary.



Village of Hobart Site Review Committee Minutes
 Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
 Wednesday, April 1, 2026 – 5:30 pm

MEETING MINUTES – SITE REVIEW COMMITTEE

ROUTINE ITEMS TO BE ACTED UPON:

1. **Call to order/Roll Call.** The meeting was called to order by Dave Dillenburg at 5:30 pm. Roll call: Dave Baranczyk, Rick Nuetzel, Steve Riley, and Dave Dillenburg were present. Excused: Tom Tengowski, Tammy Zittlow and Peter Zobro.
2. **Certification of the open meeting law agenda requirements and approval of the agenda.** ACTION: To certify the open meeting law agenda requirements and approval of the agenda. MOTION: Baranczyk SECOND: Nuetzel MOTION APPROVED BY VOICE VOTE: 4-0.
3. **Approve Minutes of February 18, 2026.** ACTION: To approve the minutes of the February 18, 2026 Site Review Meeting. MOTION: Dillenburg SECOND: Riley MOTION APPROVED BY VOICE VOTE: 4-0
4. **Public Comment on Non-Agenda Items.** – None.

ACTION ITEMS

5. DISCUSSION AND ACTION – Request for new wall signs located at 611 Centerline Drive (HB-524-1-1)

Auto Aces, located at 611 Centerline Dr., is currently under construction and is submitting for review and action of the wall signage. During the original site review back in September 2025, signage was not finalized and therefore not submitted at that time. The developer has since finalized the freestanding signage and is requesting review of said signage. The request before the Committee at this time would be for two internally illuminated wall signs of a total of 70.76 square feet (actual sign area is roughly 96 square feet of sign faces) for each sign. There will be one sign located on each of the office store fronts facing Centerline Dr. and Founders Terrace. Since this is a corner parcel, the development is allowed to have one wall sign facing each roadway. Both wall signs are compliant with the Village Sign Code.

ACTION: Approval of the proposed two wall signs of 70.76 square feet each to be located on the north and west elevations of the new building located at 611 Centerline Dr. as submitted.

MOTION: Nuetzel SECOND: Baranczyk MOTION APPROVED BY VOICE VOTE: 5-0

6. DISCUSSION AND ACTION - Consider the landscaping and lighting plans for the new recently approved development at 5060 Founders Terrace (HB-523-7) Bayland Buildings recently received conditional approval on a proposed new 20,000 square foot commercial building to be located at 5060 Founders Terrace (Parcel HB-523-7) along with the required associated site improvement including access and parking. The landscaping plan and exterior lighting plan were required to be re-submitted for review and approval.

ACTION: Approval of both the landscape plan and lighting plan as submitted. This approval does not relive the other conditions of approval from the February 18, 2026 conditional approval.

1. No lighting shall create a glare to adjoining properties or public roadways. Only the proposed wall lighting fixtures and pole lights are part of this lighting approval. Any other future lighting will require review and approval by the SRC.

MOTION: Dillenburg SECOND: Nuetzel MOTION APPROVED BY VOICE VOTE: 4-0

7. DISCUSSION AND ACTION - Request for new wall signage and face replacement of existing ground sign located at 3860 W. Mason Street (Dobbs Tire & Auto Centers, HB-1394-3) Dobbs Tire & Auto Centers, located at 3860 W. Mason St., recently acquired the property (formerly Al Huss Auto & Truck LLC) and is submitting for review and action of proposed new wall signs and face replacement of the existing ground sign.

ACTION: Approval of the proposed 66.62 square foot sign on the west elevation and the proposed 44.25 square foot wall sign on the south elevation of the existing building to be located at 43860 W. Mason St. as submitted.

MOTION: Baranczyk SECOND: Nuetzel MOTION APPROVED BY VOICE VOTE: 4-0

8. ADJOURN MOTION to adjourn the meeting by Riley SECOND: Dillenburg MOTION APPROVED BY VOICE VOTE: 4-0. Meeting adjourned at 5:52 pm.

Respectfully submitted by Amanda Wangerin, Village Deputy Clerk



Village of Hobart Site Review Committee Minutes
 Hobart Village Office; 2990 S. Pine Tree Rd, Hobart, WI
 Wednesday, May 28, 2026 – 5:30 pm

MEETING MINUTES – SITE REVIEW COMMITTEE

ROUTINE ITEMS TO BE ACTED UPON:

1. **Call to order/Roll Call.** The meeting was called to order by Dave Dillenburg at 5:30 pm. Roll call: Dave Baranczyk, Tom Tengowski, Tammy Zittlow, and Dave Dillenburg were present. Excused: Steve Riley, Peter Zobro. Absent: Rick Nuetzel.
2. **Certification of the open meeting law agenda requirements and approval of the agenda.** ACTION: To certify the open meeting law agenda requirements and approval of the agenda. MOTION: Dillenburg SECOND: Baranczyk MOTION APPROVED BY VOICE VOTE: 4-0.
3. **Approve Minutes of April 1, 2026.** ACTION: To postpone the approval of the minutes of the April 1, 2026 Site Review Meeting to the next Site Review Meeting. MOTION: Tengowski SECOND: Zittlow MOTION APPROVED BY VOICE VOTE: 4-0.
4. **Public Comment on Non-Agenda Items.** – None.

5. DISCUSSION AND ACTION – Election of Committee Chairperson and Vice-Chairperson

ACTION: To elect Dave Dillenburg as Chairperson.

MOTION: Baranczyk SECOND: Zittlow MOTION APPROVED BY VOICE VOTE: 4-0.

ACTION: To elect Tom as Vice-Chairperson

MOTION: Dillenburg SECOND: Baranczyk MOTION APPROVED BY VOICE VOTE: 4-0.

6. DISCUSSION AND ACTION – Consider a new 16,945 SF Indoor Riding Arena/Barn w/ Associated site

Improvements (1130 Orlando Drive, HB-332-3-1) Exceptional Equestrians is proposing to construct a new indoor riding arena / barn of 16,945 square feet within their complex located at 1130 Orlando Dr. (Parcel HB-332-3-1) along with the required associated site improvement including access and parking. The proposed building will be single story in height.

Appearing before the committee: Brian Sanders, Vierbecher.

ACTION: Conditional approval of this site plan, subject to the following and in addition to any conditions the Site Review Committee may identify:

1. Lock box location(s) shall be approved by the Village Fire Chief.
2. Any and all mechanical equipment shall be screened from view with materials to match those of the principal structure or with landscaping, and all exterior exhaust/intake vents shall be colored to blend with the principal structure.
3. No lighting shall create a glare to adjoining properties or public roadways. Only the proposed wall packs are part of this lighting approval. Any other future lighting will require review and approval by the SRC.
4. Any proposed signage shall be required to be submitted for approval at a later SRC meeting prior to installation.
5. Storm water plans shall be approved by the Village Engineer.
6. FD Connection location shall be approved by the Village Fire Chief.
7. If the proposed building will be protected by an approved fire suppression system, then water lateral supplying the building shall be sized accordingly. If not protected by such an approved system, then the drive lane to the south of the proposed building shall be a minimum of 12 feet in width and designed to support fire apparatus and signed per Village Fire Chief approval.
8. The building will not be required to have masonry facing the street due to the building setback being 300 ft from the public street and shielded by other existing buildings and landscaping.

MOTION: Zittlow SECOND: Tengowski.
MOTION APPROVED BY VOICE VOTE: 4-0.

7. DISCUSSION AND ACTION - Site plan modification to the previously conditionally approved development (5076 Founders Terrace, HB-523-2)

The property owner of parcel HB-523-2, located at 5076 Founders Terrace, is proposing some modifications to the previously conditionally approved site plans for their new development. This request is for the proposed modifications to be reviewed with the Committee directing the applicant to proceed accordingly. A final drawing of the proposed site plans will be submitted at a later date pending direction from the Site Review Committee.

Appearing before the Committee:
Jenny Basten, Bone Voyage Villas
Jamie Tomchek, Bone Voyage Villas

ACTION: To approve the proposed modifications with a final detailed plan to be submitted to the Site Review Committee at a later date.

MOTION: Dillenburg SECOND: Zittlow MOTION APPROVED BY VOICE VOTE: 4-0.

8. ADJOURN (6:26 pm) MOTION: Tengowski SECOND: Baranczyk MOTION APPROVED BY VOICE VOTE: 4-0.

Respectfully submitted by Lisa A. Vanden Heuvel, Village Clerk



TO: Site Review Committee

RE: 5076 Founders Terrace, HB-523-2; Site Plan Modifications

FROM: Todd Gerbers, Director of Planning & Code Compliance

DATE: June 17, 2026

ISSUE: Site plan modification to the previously conditionally approved development and signage

RECOMMENDATION: Staff has a favorable recommendation to the proposed modifications and signage subject to the conditions noted below.

GENERAL INFORMATION

1. Applicants/Agent: Bayland Buildings
2. Owner: Bone Voyage
3. Parcel: HB-523-2
4. Zoning: PDD#1: Centennial Centre at Hobart District

ZONING REQUIREMENTS

The property owner of parcel HB-523-2, located at 5076 Founders Terrace, is proposing some modifications to the previously conditionally approved site plans along with the signage package for their new development. This request is for the proposed modifications that affect the overall site.

As it was discussed during the May SRC meeting, the proposed modifications include:

1. The removal of some tree planting and installing an 8 foot high privacy fence in the areas where the trees would be eliminated.
2. Relocation of the planned detached storage building.
3. Relocation of the planned pool.
4. Removal of natural grass in the fenced in “play/exercise” areas and the installation of turf over crushed gravel.

This request is for formal action on the final plans containing the proposed modifications.

The proposed signage includes a wall sign on the south (front entrance) elevation of the building consisting of 32.30 sq.ft. This sign will be an aluminum cabinet with LED border accent lighting and facelit channel letters with additional letters that will be fabricated aluminum backlit LED.

As for the freestanding sign, it is proposed at 22’ high and 83.57 sq.ft. By ordinance, properties with frontage along State Highway 29 are permitted to a maximum of 30’ in height and 100 sq.ft. per side. The support posts will have a digital wrap that gives the appearance of a word grain to match the design of the building on the front and rear elevations. It should be noted that the “Master Plan for Centennial Centre” lists monument signs as encouraged, but pylon style signs are not prohibited.

RECOMMENDATION/CONDITIONS

Staff has a favorable recommendation to the proposed modifications subject to the following conditions:

1. Non-dog run fencing shall be a maximum of 8 feet in height with no advertising permitted on fencing.
2. Non-dog run fencing will be of vinyl material and shall blend with the building as to style and color.
3. Detached accessory/utility building shall be located behind refuse/recycling enclosure and constructed of materials that substantially match the primary building.



505 LAWRENCE DR, DE PERE, WI 54115
920.336.8900 CREATIVESIGNCOMPANY.COM

CLIENT: BONE VOYAGE

LOCATION: 5076 FOUNDERS TERRACE, HOBART
DRAWN BY: NICOLE M
SALESPERSON: KELSY W
DATE: 02/24/2026
LEAD #: 5925
PAGE: 1

REVISION LOG:	INTL	DATE	DESCRIPTION
	NM	03/31/2026	BLACK
	NM	05/08/2026	QTY

EXTERIOR SIGNAGE

QUANTITY: 1
SIDES: S/F

PHOTO EYE/TIMER: BY ELECTRICIAN

INSTRUCTION: PRODUCE & INSTALL.

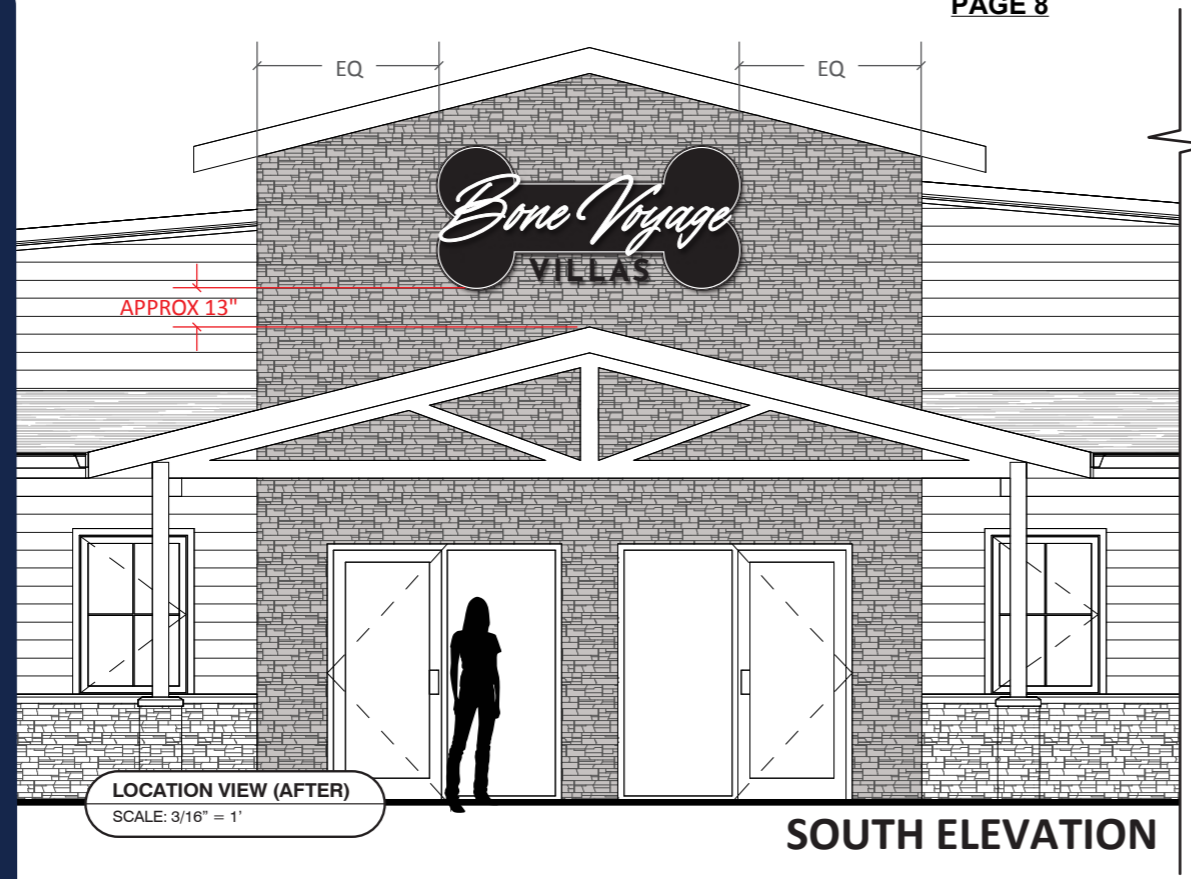
SQ FT: 32.30 (150 TOTAL ALLOWED)
64.60 TOTAL USED

COLORS:

- C-2 WHITE
- P-3 BLACK

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

SIGNATURE _____ DATE _____



LOCATION VIEW (AFTER)
SCALE: 3/16" = 1'

SOUTH ELEVATION



DETAIL VIEW
SCALE: 3/4" = 1'

QTY 2

BONE BACKER CAB:
FABRICATED ALUM 2" D CABINET P-3
WITH LED BORDER ACCENT LIGHTING

BONE VOYAGE:
FACELIT CHANNEL LETTERS
WHITE TRIM CAP, RETURNS, FACES & LEDS
MOUNTED OFFSET FROM BACKER 2"
BUT FLUSH TO ACCENT PIECE

VILLAS:
FABRICATED ALUM P-3 BACKLIT LETTERS
OFFSET FROM WALL 2"
BACKLIT WITH WHITE LED

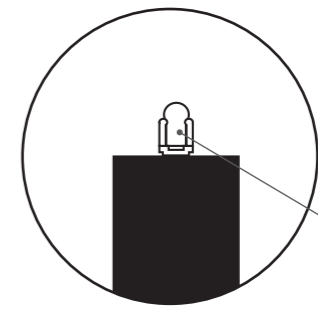


NIGHT VIEW
N.T.S.

LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL HOOK UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOK UP. TALK TO YOUR SIGN CONSULTANT IF:

- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.



LED ACCENT VIEW
SCALE: N.T.S.

G2G AURORA FLEX MINI WHITE ACCENT LIGHTING ON EXTERIOR OF BACK CABINET

THIS DRAWING IS THE PROPERTY OF CREATIVE SIGN CO, INC.

This is an original, unpublished drawing by Creative Sign Co, Inc. It is for your personal use, in conjunction with a project being planned for you by Creative Sign Co, Inc. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the expressed written permission of Creative Sign Co, Inc., is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign.
CONTACT YOUR SIGN CONSULTANT TO PURCHASE THE RIGHTS TO THIS DESIGN.

CONCEPTUAL DRAWING ONLY

All sizes and dimensions are illustrated for client conception of the project and are not to be understood as being exact size or exact scale. Renderings, including lighting effects, opacities, and coloration, are an approximation.

CUSTOMER RESPONSIBILITIES

Please review all drawing details closely, as Creative Sign will produce signs as approved drawing indicates. Some changes may occur based on production needs. While Creative Sign will make all efforts to correct any obvious spelling or grammatical errors, the customer is responsible for confirming that the above copy, including names and titles, appear as desired. Creative Sign will make every effort to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used.

PHOTO REQUIRED BEFORE PRODUCTION

BUILDING

POWER SURVEY REQUIRED BEFORE PRODUCTION

POWER ACCESS

INFO REQUIRED BEFORE PRODUCTION

BUILDING COLOR

CLIENT: BONE VOYAGE

LOCATION: 5076 FOUNDERS TERRACE, HOBART

DRAWN BY: NICOLE M

SALESPERSON: KELSY W

DATE: 02/24/2026

LEAD #: 5925

PAGE: 5

REVISION LOG:	INTL	DATE	DESCRIPTION
	NM	03/31/2026	BLACK/BORDER LITE
	NM	05/08/2026	TALLER/ADD LIGHTING

PYLON

QUANTITY: 1

SIDES: D/F

PHOTO EYE/TIMER: BY ELECTRICIAN

MOUNTING: DIRECT EMBEDMENT

INSTRUCTION: PRODUCE & INSTALL.

SQ FT: 83.57

ALLOWED 100

COLORS:

C-2 WHITE

P-3 BLACK

P-4 COLOR MATCH NEEDED

P-5 COLOR MATCH NEEDED

CUSTOMER SIGNATURE FOR DESIGN APPROVAL:

X
SIGNATURE

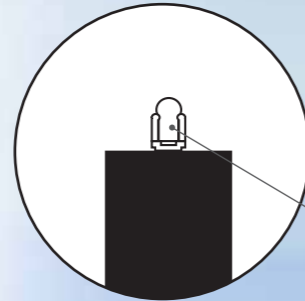
DATE



P-5 COLOR MATCH

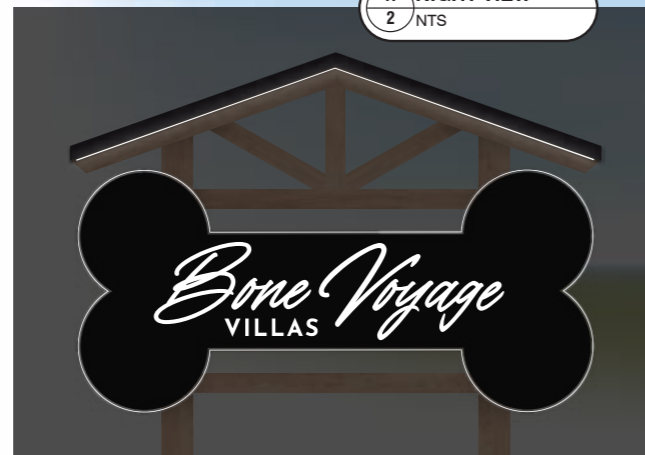
P-4 COLOR MATCH

LED ACCENT VIEW
SCALE: N.T.S.



G2G AURORA FLEX MINI WHITE ACCENT LIGHTING ON EXTERIOR OF CABINET

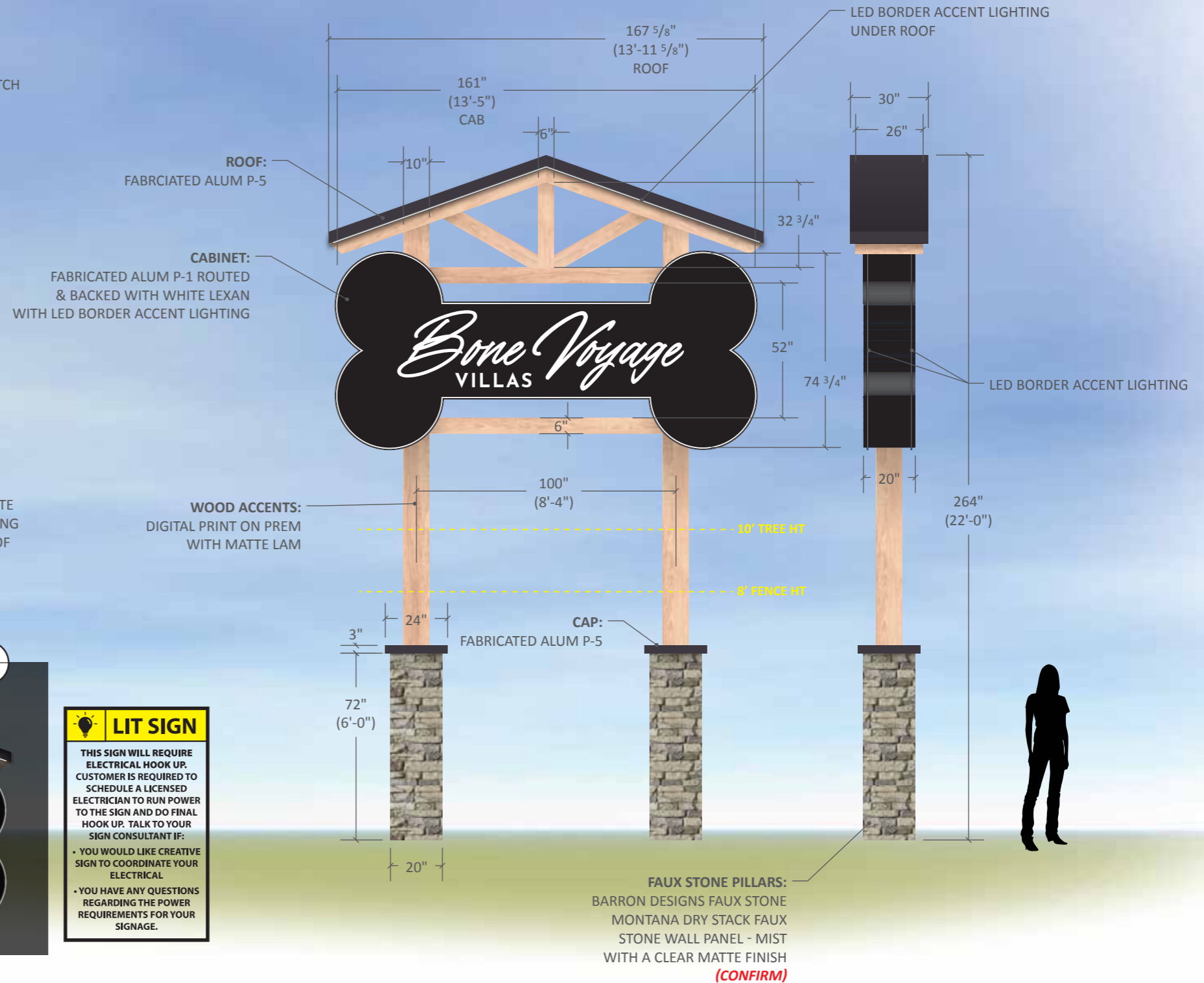
A NIGHT VIEW
2 NTS



LIT SIGN

THIS SIGN WILL REQUIRE ELECTRICAL HOOK UP. CUSTOMER IS REQUIRED TO SCHEDULE A LICENSED ELECTRICIAN TO RUN POWER TO THE SIGN AND DO FINAL HOOK UP. TALK TO YOUR SIGN CONSULTANT IF:

- YOU WOULD LIKE CREATIVE SIGN TO COORDINATE YOUR ELECTRICAL
- YOU HAVE ANY QUESTIONS REGARDING THE POWER REQUIREMENTS FOR YOUR SIGNAGE.



THIS DRAWING IS THE PROPERTY OF CREATIVE SIGN CO, INC.

This is an original, unpublished drawing by Creative Sign Co, Inc. It is for your personal use, in conjunction with a project being planned for you by Creative Sign Co, Inc. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the expressed written permission of Creative Sign Co, Inc., is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. **CONTACT YOUR SIGN CONSULTANT TO PURCHASE THE RIGHTS TO THIS DESIGN.**

CONCEPTUAL DRAWING ONLY

All sizes and dimensions are illustrated for client conception of the project and are not to be understood as being exact size or exact scale. Renderings, including lighting effects, opacities, and coloration, are an approximation.

CUSTOMER RESPONSIBILITIES

Please review all drawing details closely, as Creative Sign will produce signs as approved drawing indicates. Some changes may occur based on production needs. While Creative Sign will make all efforts to correct any obvious spelling or grammatical errors, the customer is responsible for confirming that the above copy, including names and titles, appear as desired. Creative Sign will make every effort to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used.

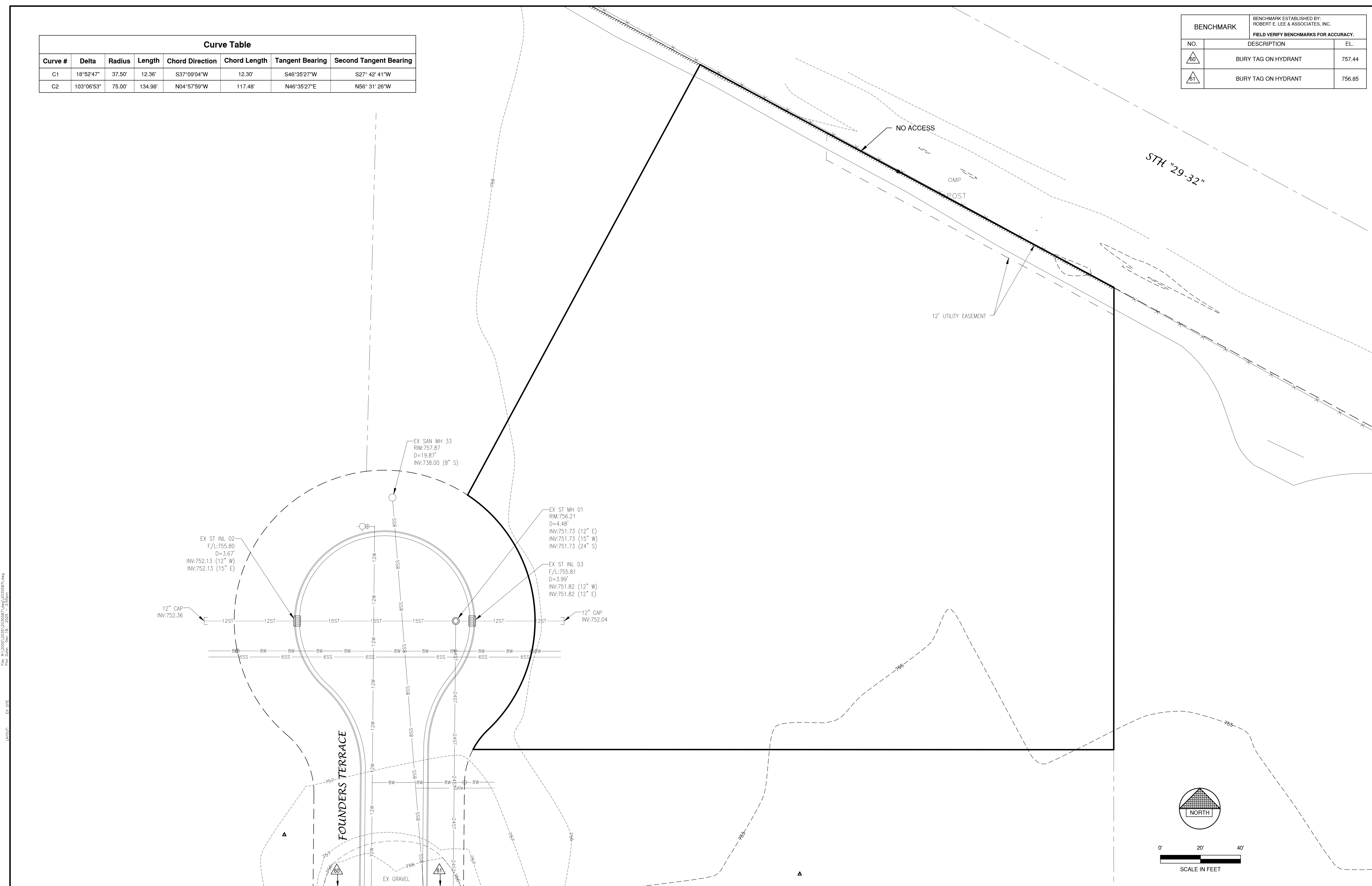


LOCATION

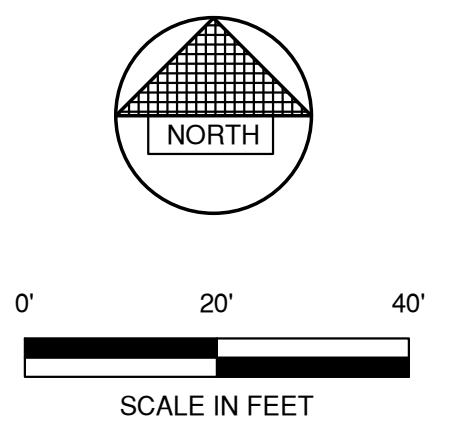
COLOR/STONE MATCHES

Curve Table							
Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
C1	18°52'47"	37.50'	12.36'	S37°09'04"W	12.30'	S46°35'27"W	S27° 42' 41"W
C2	103°06'53"	75.00'	134.98'	N04°57'59"W	117.48'	N46°35'27"E	N56° 31' 26"W

BENCHMARK		
NO.	DESCRIPTION	EL.
60	BURY TAG ON HYDRANT	757.44
61	BURY TAG ON HYDRANT	756.85



File: R:\2020\2020\2020587T\44\2020587T.dwg
 Plot Date: Dec 18, 2025 2:30pm
 EX SITE
 LAYOUT
 EX SITE



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	12/15/2025	MRL	CONSTRUCTION PLAN SET				

DRAWN: LLP
 CHECKED: ALB
 DESIGNED: MRL

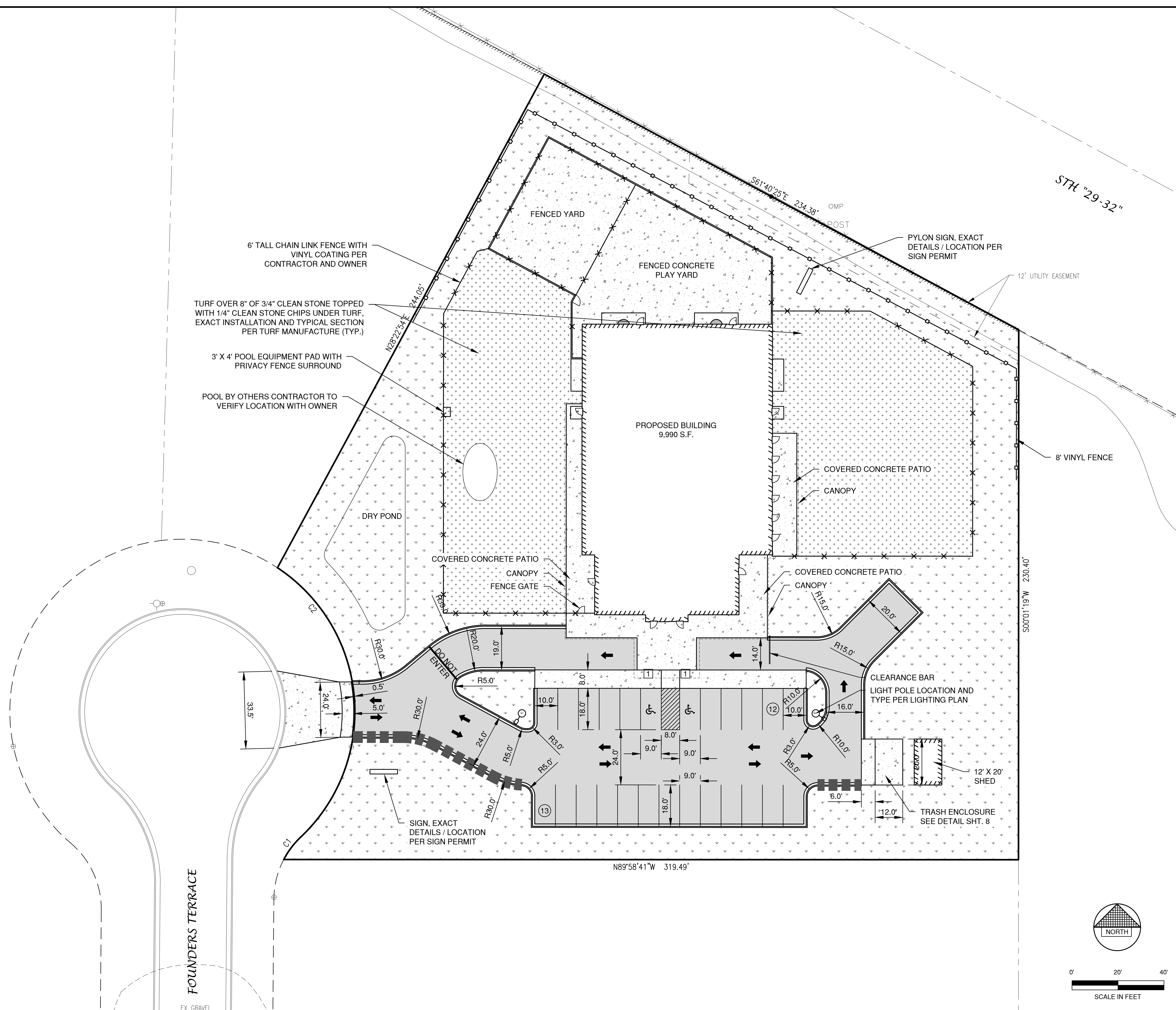
SITE DEVELOPMENT OF BONE VOYAGE
 FOR BAYLAND BUILDINGS, INC.
 VILLAGE OF HOBART
 BROWN COUNTY, WISCONSIN

DATE: 11/20/25
 FILE: 2035587T
 JOB NO.: 2035587

Robert E. Lee & Associates, Inc.
 1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO.
2

File: P:\2025\2025\2025587D\443\2025587D.dwg
Plot Date: Jan 25, 2026 9:38:00am
LAYOUT: SITE



LEGEND

- TURF SPACE (15,148 S.F.)
- CONCRETE PAVEMENT (11,437 S.F.)
- ASPHALT PAVEMENT (9,636 S.F.)
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- SIGN
- INDICATES NUMBER OF PARKING STALLS
- WALL PACK
- LIGHT POLE (1 LAMP)

NOTE:
ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

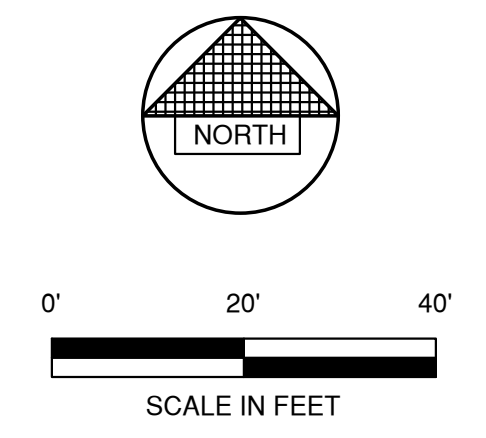
NOTE
ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
TOTAL PARKING STALLS PROVIDED = 25
HANDICAP ACCESSIBLE PARKING STALLS = 2

SITE DATA
TOTAL AREA = 1.91 ACRES, 83,200 S.F.
BUILDING AREA = 0.23 ACRES, 10,109 S.F. (12.2%)
SIDEWALK/PARKING LOT AREA = 0.49 ACRES, 21,105 S.F. (25.4%)
GREEN SPACE = 1.19 ACRES, 51,986 S.F. (62.4%)

ZONING
PDD

PARCEL NO.
HB-523-2



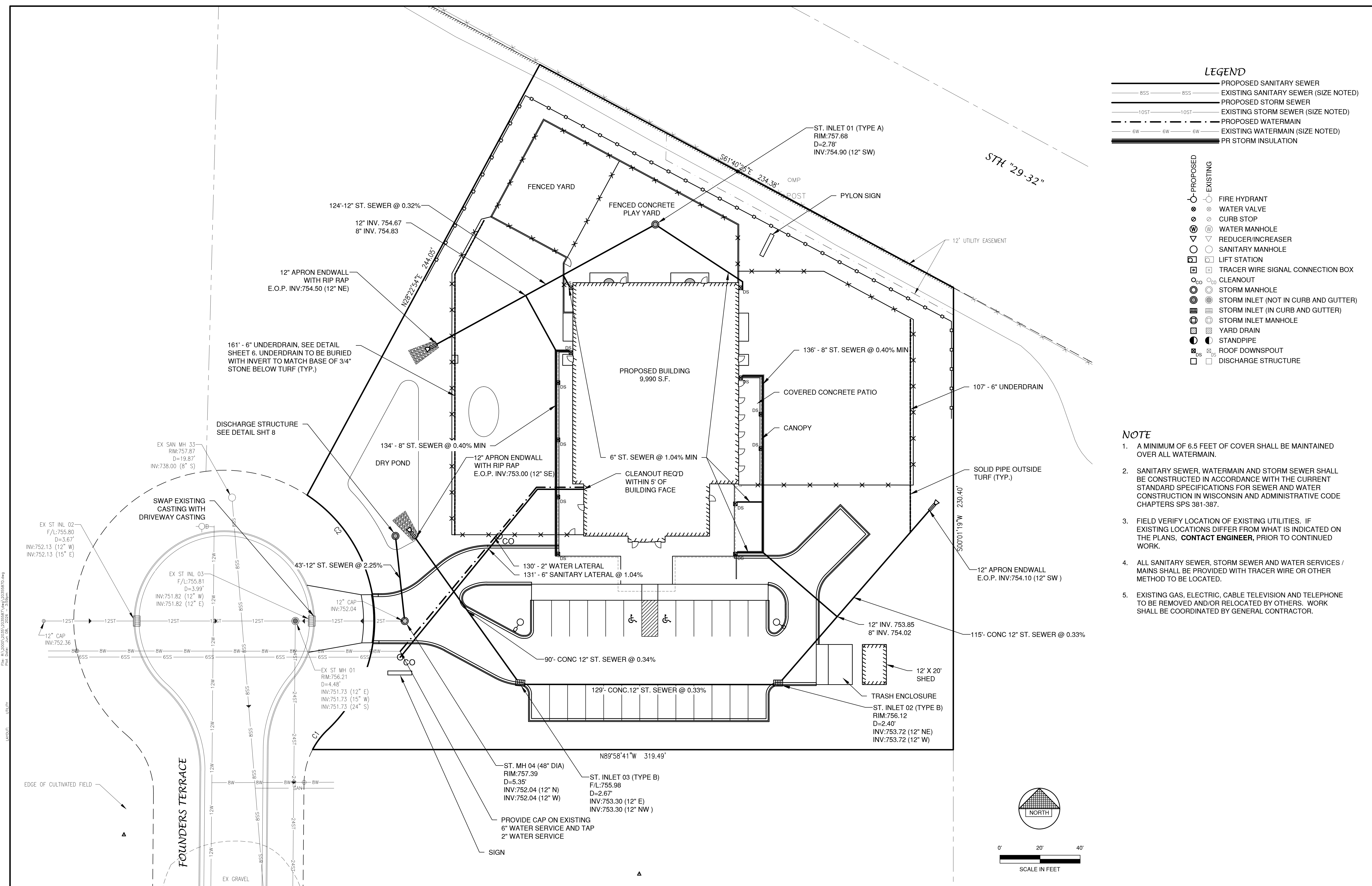
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN
1	12/15/2025	MRL	CONSTRUCTION PLAN SET					LLP
2	6/5/2026	MRL	BAYLAND LANDSCAPE AND TURF REVISIONS					LLP

SITE DEVELOPMENT OF BONE VOYAGE FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

SITE PLAN

DATE	11/20/25
FILE	2025587D
JOB NO.	2025587

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com



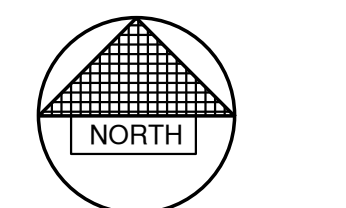
LEGEND

- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER (SIZE NOTED)
- PROPOSED STORM SEWER
- EXISTING STORM SEWER (SIZE NOTED)
- PROPOSED WATERMAIN
- EXISTING WATERMAIN (SIZE NOTED)
- PR STORM INSULATION

- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED WATER VALVE
- EXISTING WATER VALVE
- PROPOSED CURB STOP
- EXISTING CURB STOP
- PROPOSED WATER MANHOLE
- EXISTING WATER MANHOLE
- PROPOSED REDUCER/INCREASER
- EXISTING REDUCER/INCREASER
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED LIFT STATION
- EXISTING LIFT STATION
- PROPOSED TRACER WIRE SIGNAL CONNECTION BOX
- EXISTING TRACER WIRE SIGNAL CONNECTION BOX
- PROPOSED CLEANOUT
- EXISTING CLEANOUT
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED STORM INLET (NOT IN CURB AND GUTTER)
- EXISTING STORM INLET (NOT IN CURB AND GUTTER)
- PROPOSED STORM INLET (IN CURB AND GUTTER)
- EXISTING STORM INLET (IN CURB AND GUTTER)
- PROPOSED STORM INLET MANHOLE
- EXISTING STORM INLET MANHOLE
- PROPOSED YARD DRAIN
- EXISTING YARD DRAIN
- PROPOSED STANDPIPE
- EXISTING STANDPIPE
- PROPOSED ROOF DOWNSPOUT
- EXISTING ROOF DOWNSPOUT
- PROPOSED DISCHARGE STRUCTURE
- EXISTING DISCHARGE STRUCTURE

NOTE

1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS SPS 381-387.
3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
5. EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	12/15/2025	MRL	CONSTRUCTION PLAN SET				
2	6/5/2026	MRL	BAYLAND LANDSCAPE AND TURF REVISIONS				

DRAWN LLP CHECKED A/B DESIGNED MRL	SITE DEVELOPMENT OF BONE VOYAGE FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	UTILITY PLAN	DATE 11/20/25 FILE 2035587D JOB NO. 2035587	SHEET NO. 4
---	--	--------------	--	-----------------------

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

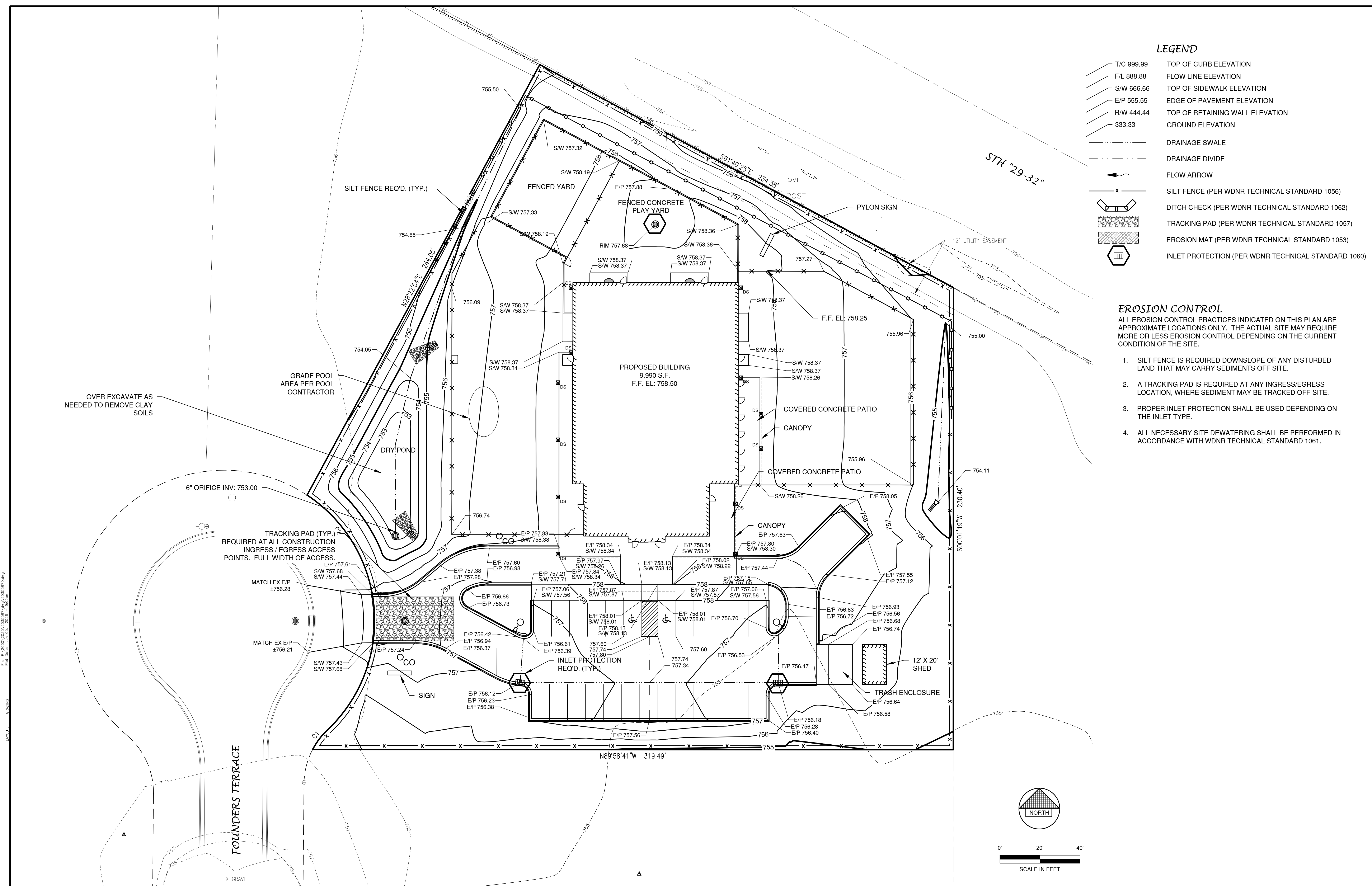
LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

EROSION CONTROL


ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

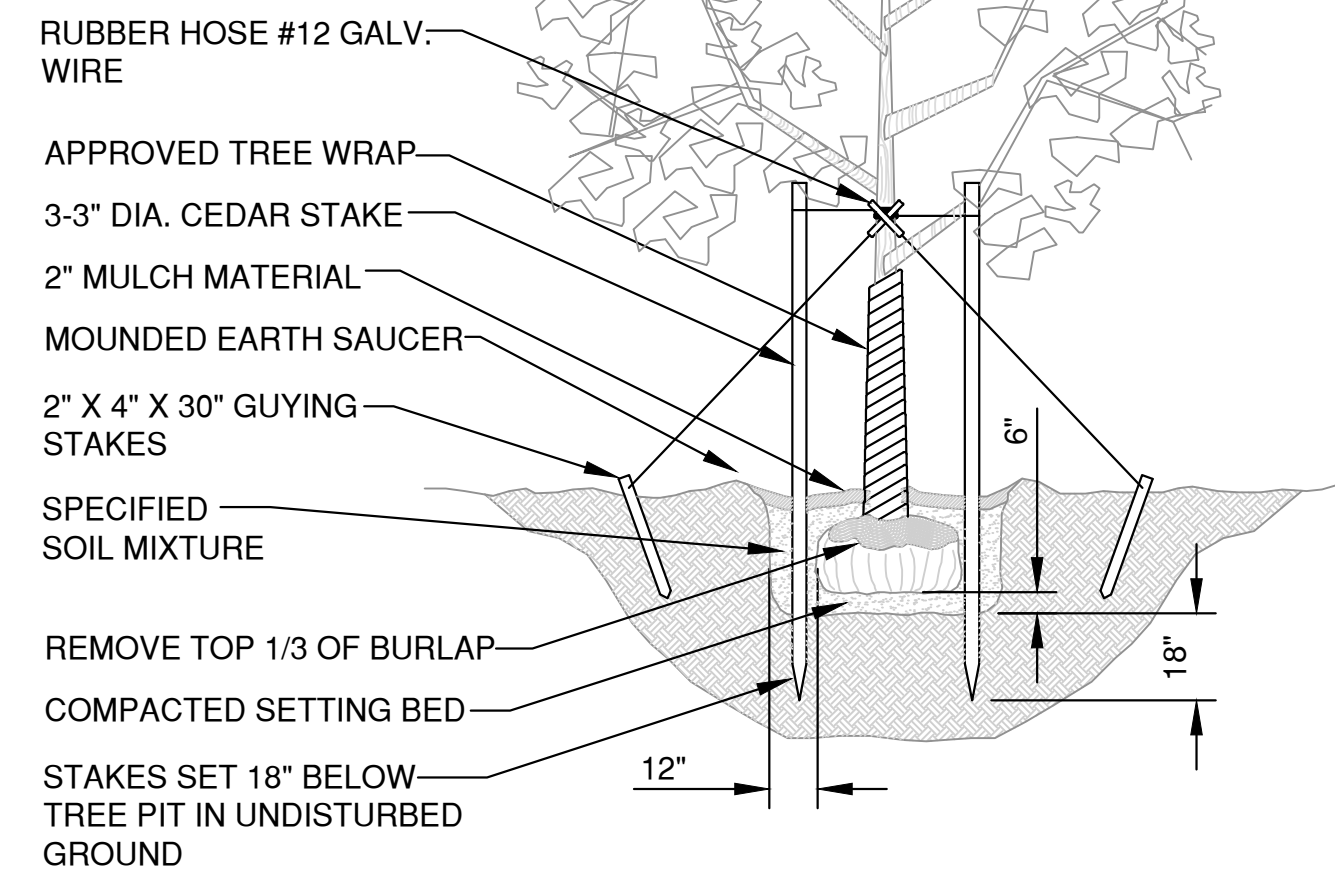


NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN LLP	SITE DEVELOPMENT OF BONE VOYAGE FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	GRADING AND EROSION CONTROL PLAN	DATE 11/20/25	1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO. 5
1	12/15/2025	MRL	CONSTRUCTION PLAN SET					CHECKED AIB			FILE 2035587D		
2	6/5/2026	MRL	BAYLAND LANDSCAPE AND TURF REVISIONS					DESIGNED MRL			JOB NO. 2035587		

TREE LEGEND

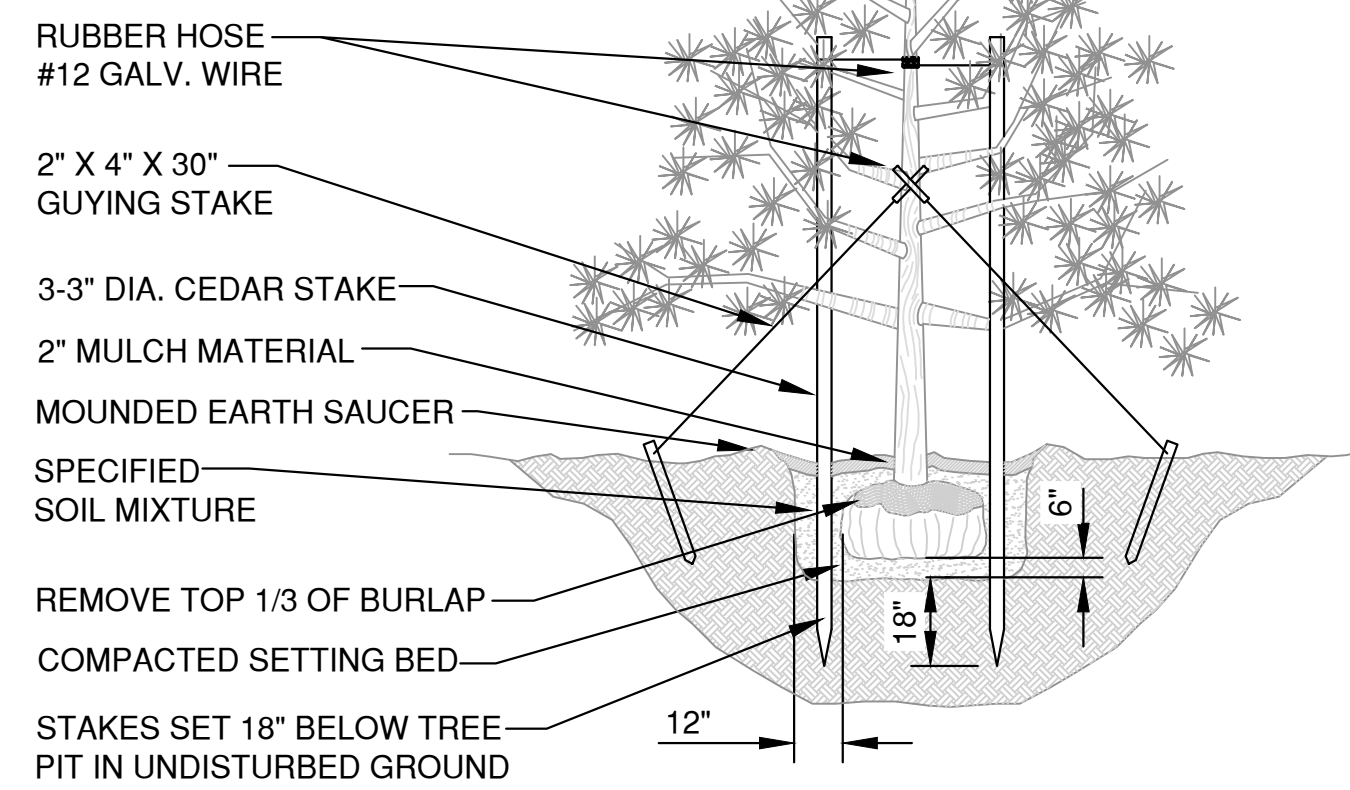
SYMBOL	COMMON NAME	LATIN NAME	PLANT SIZE	QUANTITY
	AUTUMN BLAZE MAPLE	ACER X FREEMANII	2-1/2" CALIPER*	2
	WHITE OAK	QUERCUS ALBA	2-1/2 CALIPER*	2
	JUNIPER "WICHITA BLUE"	JUNIPERUS SCOPULORMA 'WICHITA'	6'	23
	TOTAL			28

NOTE:
STAKE TREES UNDER 3"
CALIPER. GUY TREES
OVER 3" CALIPER



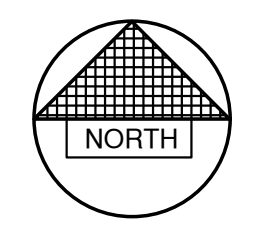
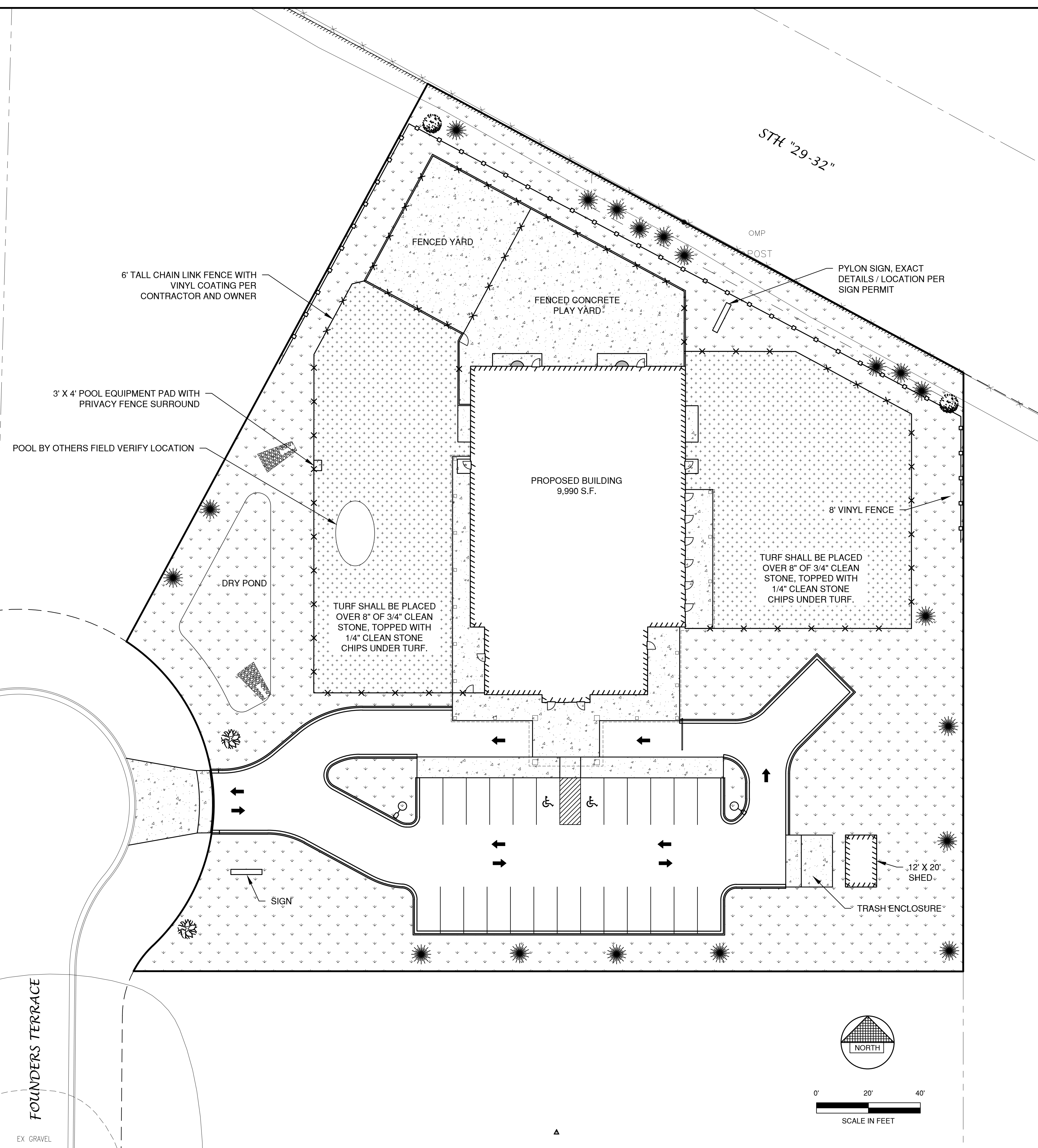
TYPICAL PLANTING, GUYING AND SPIKING DECIDUOUS TREE DETAIL

NOTE:
STAKE EVERGREEN TREES
BELOW 8' HEIGHT
GUY TREES ABOVE 8' HEIGHT



TYPICAL PLANTING, GUYING AND SPIKING EVERGREEN TREE DETAIL

File: R:\2025\2025\2025587\442\2025587 LANDSCAPING.dwg
 Plot Date: Jan 05, 2026 9:38:00am
 24x36
 LAYOUT



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION
1	12/15/2025	MRL	CONSTRUCTION PLAN SET				
2	6/5/2026	MRL	BAYLAND LANDSCAPE AND TURF REVISIONS				

DRAWN LLP
 CHECKED AJB
 DESIGNED MRL

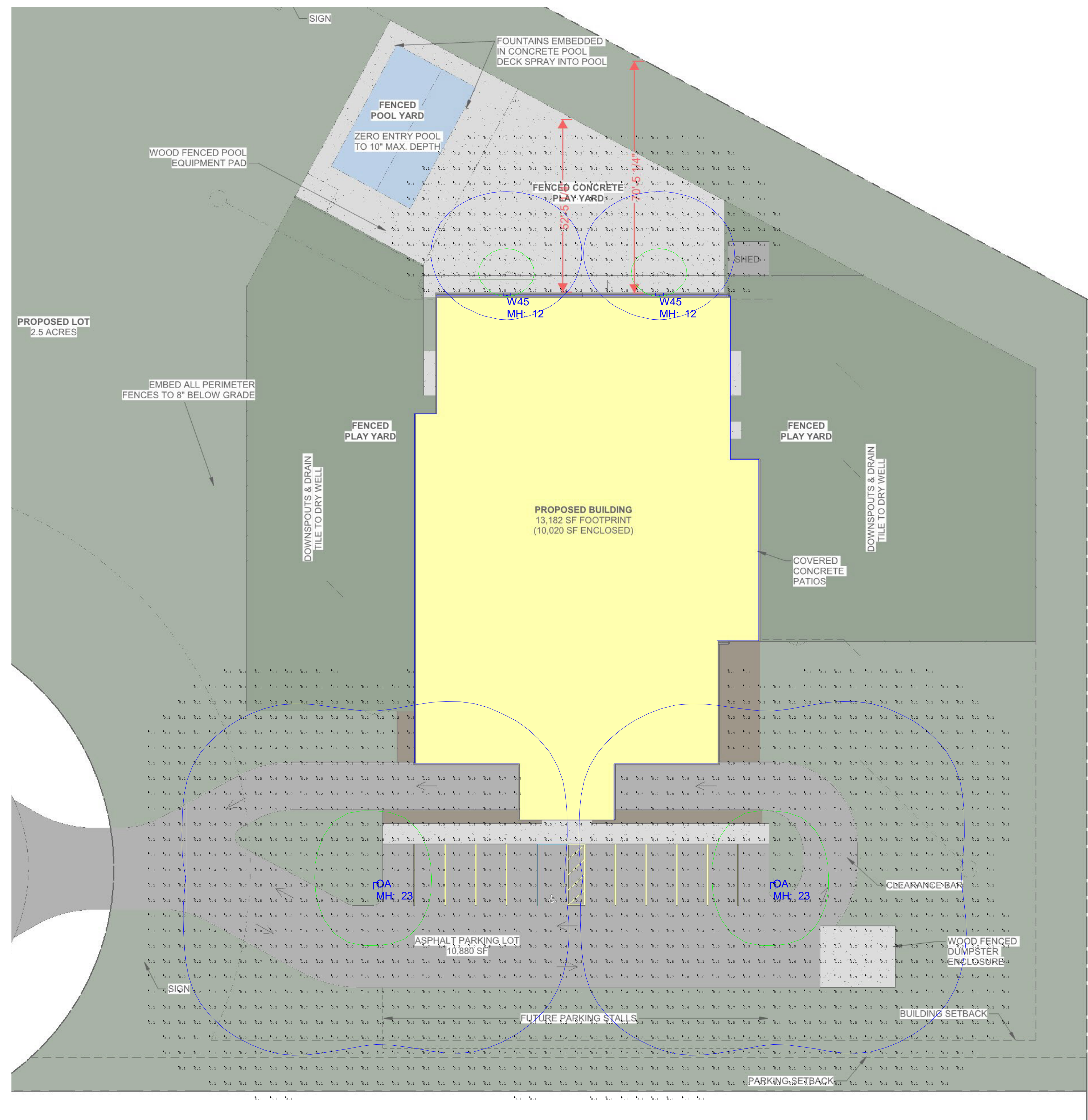
SITE DEVELOPMENT OF BONE VOYAGE FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN

LANDSCAPING PLAN

DATE 11/2025
 FILE 2035587 LANDSCAPING
 JOB NO. 2035587

1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

SHEET NO. L1



Luminaire Schedule							
Label	Qty	Lumens	Description	LLF	Luminaire Watts	Total Watts	[MANUFAC]
W45	2	2392	SLIM22-S-30 (@15W/4K/45DEG)	0.900	15.5	31	RAB
OA	2	14815	A22 5T100 (100W/4000K) + 20' POLE & 3' BASE	0.900	95.9	191.8	RAB

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	ILLUMINANCE	Fc	0.70	4.3	0.1	7.00	43.00	
PARKING	ILLUMINANCE	Fc	1.33	3.8	0.2	6.65	19.00	

- Standard Reflectance of 80/50/20 unless noted otherwise
- Not a Construction Document, for Design purposes only
- Standard indoor calc points @ 30" A.F.F. unless noted otherwise
- Standard outdoor calc points @ Grade unless noted otherwise
- CED Green Bay assumes no responsibility for installed light levels due to field conditions, etc.
- Standard LLF of .9 unless otherwise noted

CED Green Bay
3180 CORONET WAY
Green Bay, WI 54304
(p) 920.491.0532
greenbay.portalced.com



#	Date	Comments

Revisions


QUOTE#
Drawn By: Kimberly Huven
Date: 4/23/2025

Scale: 1"=20'-0"

HOBART PET BOARDING
SITE LIGHTING
HOBART, WI



File: R:\2025\2025\2025587\44\2025587_RENDERING.dwg
 Plot Date: Dec 18, 2025 11:47am
 BV
 LAYOUT:

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN	SITE DEVELOPMENT OF BONE VOYAGE FOR BAYLAND BUILDINGS, INC. VILLAGE OF HOBART BROWN COUNTY, WISCONSIN	RENDERING	DATE	 1250 Centennial Centre Blvd Hobart, WI 920-662-9641 releinc.com	SHEET NO.		
1	12/15/2025	MRL	CONSTRUCTION PLAN SET					CHECKED						11/20/25	R1
								AJB						2025587 RENDERING	
								DESIGNED						JOB NO.	
								MRL			2025587				



TO: Site Review Committee

RE: Discussion and action on request to modify / amend Section 295-365 Administration of Article XXXIII Site Review/Development and Design Standards of Chapter 295 of the zoning code pertaining to Site Plans and Site Review Committee

FROM: Todd Gerbers, Director of Planning & Code Compliance

DATE: June 17, 2026

ISSUE: Discussion and action on request to modify / amend Section 295-365 Administration of Article XXXIII Site Review/Development and Design Standards of Chapter 295 of the zoning code pertaining to Site Plans and Site Review Committee

RECOMMENDATION: Staff recommends the approval of the proposed modifications

GENERAL INFORMATION

Village Staff is proposing modifications to Section 295-356 of the Village Zoning Code pertaining to the Administration of the Site Review/Development and Design Standards and the Village Site Review Committee. This request is for discussion and possible action with a recommendation to both the Planning & Zoning Commission and the Village Board.

With the recent review of the Village Zoning Code pertaining to this section, the make up of the Committee (number of Committee Members) is noted to have seven regular members and one alternate member. Currently there is no alternate assigned / appointed, so discussion needs to take place so we can be in compliance with the Village Zoning Code.

Additionally, with the recent agenda review last month, Village Staff believes that it would be best to include some new language in the ordinance to protect the Committee should there be a need to grant an exception from the regulations that the Committee shall follow in the ordinance. Any such exception for a proposed project would need to display the “unique feature(s)” or the “unreasonable hardship” for the Committee to grant such an exception. Staff believes this provides the Committee with some added protection when reviewing and possibly granting such an exception in the future. The added language relating to exceptions is noted as “E.” on the attachment.

Since this is an amendment to Chapter 295, Village Zoning Code, any amendment / modification would require a public hearing and review by both the Planning & Zoning Commission and the Village Board.

RECOMMENDATION/CONDITIONS

Approve the proposed modifications to Section 295-356 of the Village Zoning Code and forward to the Village Planning & Zoning Commission for review.

§ 295-356. Administration.

The administration of this article shall be vested in the following: Village Administrator, Zoning Administrator/Building Inspector, and Site Review Committee.

- A. It shall be the duty of the Village Administrator to be in charge of the day-to-day administration and interpretation of the development and design standards. Enforcement of these standards is charged to the Hobart Zoning Administrator/Building Inspector in accordance with § 62.23(7), Wisconsin Statutes.
- B. The Site Review Committee shall consist of seven regular members, two of whom shall be Village Board members, and one alternate member. Village Board members shall serve as full voting members. All regular members shall be residents of the Village. **[Amended 1-6-2015 by Ord. No. 01-2015]**
- C. From time to time the design criteria may be amended, changed or deleted. Such action shall take place originating before the Site Review Committee in accordance with § 62.23(7), Wisconsin Statutes.
- D. Appeals. Unless otherwise provided herein, appeals to the requirements contained in these standards shall be heard by the Board of Appeals.
- E. **Exceptions. When in the judgment of the SRC it would be inappropriate to apply literally a specific provision of this Chapter due to unreasonable hardship or unique features, the SRC may except all or a portion of such specific provision so that substantial justice may be done and the public interest secured. Any exception thus granted shall be entered in the minutes of the SRC setting forth the reasons which justified the exception. An exception granted for one project shall not be used as a sole reason for granting an exception for a different project.**